

SANTA CLARA FIRE DEPARTMENT - PLAN REVIEW NO. 20 0349

THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA FIRE (CFC) & BUILDING (CBC) CODE, 2016 EDITION, AS ADOPTED BY THE TOWN OF LOS GATOS TOWN CODE (LGTC), CALIFORNIA CODE OF REGULATIONS (CCR) AND HEALTH & SAFETY CODE.

THE SCOPE OF THIS PROJECT INCLUDES: A NEW 3197 SF TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.

1.) REVIEW OF THIS DEVELOPMENT PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSIDERED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

2.) AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED (NEW ONE-FAMILY DWELLING). (SEE NOTE THIS SHEET)

3.) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 39 AND OUR STANDARD DETAIL AND SPECIFICATION 51-7. APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS WILL BE PROVIDED AS APPROPRIATE TO THE PROJECT.

4.) WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

5. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

CHANGING ACCESS FROM ROBERTS RD TO GEORGE ST WILL REQUIRE AN ADDRESS CHANGE FOR EMERGENCY RESPONSE. AN ADDRESS CHANGE IS IN PROGRESS.

THIS REVIEW SHALL NOT BE CONSIDERED TO BE AN APPROVAL OF A VIOLATION OF THE PROVISIONS OF THE CALIFORNIA FIRE CODE OR OF OTHER LAWS OR REGULATIONS OF THE JURISDICTION. A PERMIT PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THE FIRE CODE OR OTHER SUCH LAWS OR REGULATIONS SHALL NOT BE VALID. ANY ADDITION TO OR ALTERATION OF APPROVED CONSTRUCTION DOCUMENTS SHALL BE APPROVED IN ADVANCE.

OWNER CONTACT INFORMATION

OWNERS

ANTONY AND TWINKLE JAYARAJ

MAILING ADDRESS

16890 ROBERTS RD, LOS GATOS, CA 95032

EMAIL

AJ.JAYARAJ@GMAIL.COM

VICINITY MAP

PROJECT SCOPE

DEMO EXISTING SINGLE FAMILY HOME (HPC APPROVED REMOVAL FROM INVENTORY SEPT 2019)

BUILD NEW TWO STORY HOME WITH ATTACHED GARAGE

UPGRADE UTILITIES; PROTECT AND MAINTAIN TREES;

10' TOWN DEDICATION (ROBERTS RD)

NEW DRIVEWAY/ CURB CUT; NO GRADING

SOLAR PANELS ON SOUTH-FACING ROOF

AUTOMATIC FIRE SPRINKLERS: PER NFPA 13D & LOS GATOS AMENDMENTS

SHEET INDEX

A-1

SITE PLAN, BUILDING & SITE DATA, PROJECT SCOPE, SHEET INDEX, VICINITY MAP, CONTACT INFORMATION, FIRE DEPARTMENT NOTES, TREE TABLE, TREE PROTECTION

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PROPOSED FIRST FLOOR PLAN

A-2.2

PROPOSED SECOND FLOOR PLAN

A-3.1

CEILING PLAN; ROOF PLAN

A-4.1

FRONT AND RIGHT ELEVATIONS

A-4.2

REAR AND LEFT ELEVATIONS

A-5.1

BUILDING CROSS SECTIONS

SHADOW STUDY

STREETSCAPE AND SITE CROSS SECTIONS

C-1

EXISTING CONDITIONS AND LOT DEDICATION PLAN

C-2

SITE PLAN

BUILDING & LOT AREAS

LOT AREA					
GROSS AREA	9225 SF.				
10' DEDICATION	758 SF.				
NET AREA	8465 SF.				
IMPERVIOUS COVERAGE ... SF.					
STRUCT. COV. COVERED PORCHES	D.W.	PATIO	WALK	TOTAL	
EXISTING 1104 + 500 + 50	1000	200	75	2729	
PROPOSED 1591 + 507 + 246	460	400	100	3104	
STRUCTURAL COVERAGE ... SF.					
STRUCT. COV. COVERED PORCHES + BALCONIES TOTAL					
EXISTING 1104 + 500 + 50 + 0	1454				17.2%
PROPOSED 1591 + 507 + 246 + 129.4	2273.4				26.8%
ALLOWED 3585.2	3585.2				40%
BUILDING AREAS ... SF.					
					TOTAL (GROSS)
FIRST FLOOR	1591			1591	
SECOND FLOOR	1259			1259	
SUB TOTAL				2850	34.5% FAR
GARAGE					507
MAX ALLOWABLE HOUSE F.A.R. - 2728 SF. (32.2%)					
MAX ALLOWABLE GARAGE F.A.R. - 764 SF. (9%)					
MAX LOT COVERAGE ALLOWED: 40% OF NET LOT AREA = 3585.2 SF					
PROPOSED SITE COVERAGE = 2273.4 SF = 26.8%					

TREE PROTECTION NOTES

Town of Los Gatos Tree Protection Conditions

1. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection fencing plan with the construction plans. Tree fencing should be established at least 24 inches from existing hardscape, and placed no further than 60 inches from the existing structure. The fencing should consist of five to six foot high chain link mounted on eight foot tall, two-inch diameter galvanized steel posts that are driven into the ground 24 inches deep and spaced apart no more than approximately ten feet. It must remain intact and maintained throughout construction, and only removed upon completion of construction and final inspection.

a. Pursuant to Section 29.10.1005(a) of the Town Code, 8.5'-11-inch warning signs shall be affixed and proximately displayed on each side of the fencing opposite the trees' trunks. "WARNING: Tree Protection Zone: this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." These signs should be intact prior to commencing demolition.

2. The posts should be placed at least 10 feet from the trunk, minimized in diameter and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected through the process (in the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated).

3. All utilities and services (e.g. storm drain, area drain, joint trenches, electrical, water, sewer, fiber optic, gas, etc) should be routed beyond the tree protection zone (TPZ). In the event this is not feasible, the location and proximity to the tree's trunk would dictate which of the following methods can offer sufficient mitigation: hand-digging, a pneumatic air device or directional boring. For directional boring, the ground above any tunnel must remain undisturbed, and access pits and any infrastructure (e.g. splice boxes, meters and vaults) established beyond the TPZ.

4. Any future pathway or other landscape features established within a TPZ should be a raised or no-slip design, with a vertical soil cut of no more than 2 to 3 inches (including for base material, edging and forms); or where there are large surface roots (e.g. greater or equal to 2 inches in diameter), then on top of (i.e. raised above) the roots. Additionally, compaction of the soil surface or subgrade must be avoided (foot tamping is acceptable), and soil fill used to level the top of walk or drive to existing grade should be confined to 24 inches beyond the edge, and be at least 24 inches from the tree's trunk.

5. Where beneath a tree's canopy, over excavation, compaction, grading, trenching, and other soil disturbance beyond any approved curb, gutter, pavement, wall, building foundation or driveway should be confined to 12 inches.

6. Staging areas and routes of access should be planned beyond tree canopies.

7. Preventative measures shall be implemented to avoid soil eroding or being spread/discharged downhill beneath a tree's canopy.

8. Spoils created during digging should not be piled or spread on ungraded ground within the TPZ, rather they should be temporarily piled on plywood or a tarp.

9. The limits of grading should be staked upon completion of demolition and prior to any soil cut, fill or compaction (the protection fencing may also need to be modified at this stage to protect tree roots).

10. Great care must be taken during demolition of existing hardscape, curb/gutters, staircases, walkways, walls, sheds, foundations, fences, planter borders, mowlands, etc. within a TPZ to avoid excavating into roots and existing grade. Also, equipment used during the process must not operate or travel on a newly exposed soil surface.

11. Tree trunks must not be used as a winch supports for moving or lifting heavy loads.

12. Fill and debris covering root collars should be cleared to minimize the risk of harmful organisms rotting healthy tissue. This work involves manually clearing soil to expose the root collar, work that must be carefully performed to avoid damaging the trunk and roots during the process.

13. Dust accumulating on trunks and canopies during dry weather periods should be periodically washed away (e.g. every month or two).

14. The disposal of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZs. Herbicides should not be used with a TPZ, where used on site, they should be labeled for safe use near trees.

15. The landscape design should conform to the following additional guidelines:

a. Plant material installed beneath the canopies of oaks must be drought-tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunk.

b. Irrigation can, overtime, adversely impact the oaks and should be avoided. Irrigation for any new plant material beneath an oak's canopy should be low volume, applied irregularly (such as only once or twice per week), and temporary (such as no more than three years).

c. Irrigation should not be applied within five feet from the oak trunks, or within six inches from the trunks of all other trees (existing and proposed).

d. Irrigation and lighting features (e.g. main line, lateral lines, valve boxes, wiring and controllers) should be established so that no trenching occurs within a TPZ. In the event this is not feasible, they may require being installed in a radial direction to a tree's trunk, and terminate a specific distance from a tree trunk (never crossing past it). Should this not be possible, the work may need to be performed using a pneumatic air device to avoid root damage.

e. Ground cover beneath canopies should be compromised of a three- to four-inch layer of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should not be placed against the tree trunk.

SEE PLAN FOR LOCATIONS OF TREE FENCING, TYP.

SEE PLAN FOR LOCATIONS OF DRIVEWAY REMOVAL, TYP.

PROPOSED SITE PLAN

LEGEND

- WALL PERIMETER
- SETBACK
- PROPERTY LINE
- TOPOGRAPHIC CONTOUR LINE
- GAS LINE
- SEWER LINE
- ELECTRIC LINE
- WATER LINE
- TREE FENCING
- EX. TREE DRIP LINE

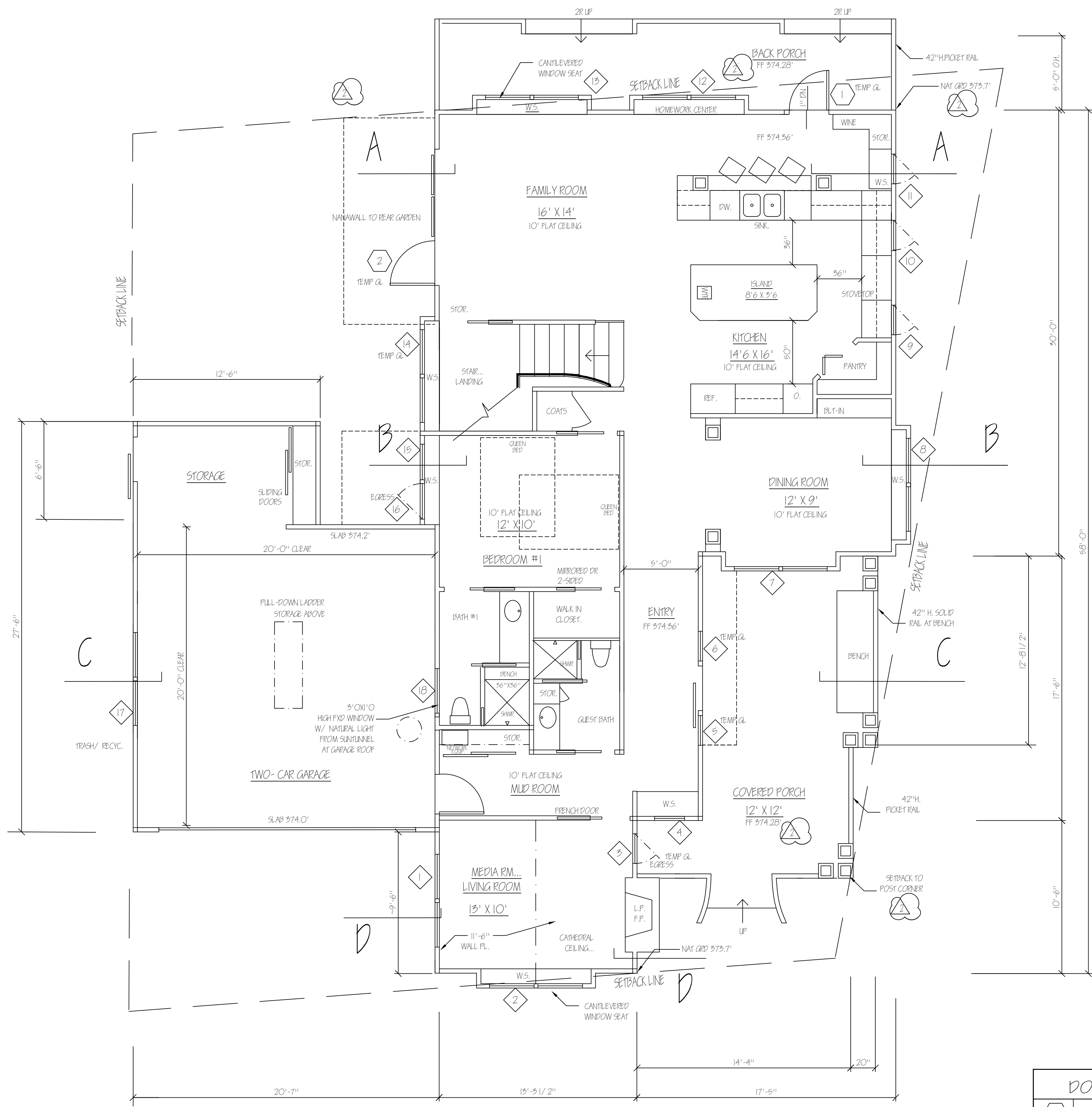
TREE TABLE

SYMBOL	TRUNK SIZE	TYPE	DIAPHRAGM	HEIGHT
1	24" DIA	EX. OAK TREE	24'	24'
2	32" DIA	EX. OAK TREE	40'	32'
3	32" DIA	EX. OAK TREE	32'	32'

APN 529-18-046

16890 ROBERTS RD

LOS GATOS, CA 95030



PROPOSED FIRST FLOOR PLAN



ARCHITECTS' WET-STAMP AND SIGNATURE
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(408) 315-1403

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SEE SH. A-6 DOOR / WINDOW LEGEND	
(X)	DOOR SYMBOL
(X)	WINDOW SYMBOL
0' 4' 8' 16'	

REVISIONS	BY
TECH REVIEW 02-19-20	SP
TECH REVIEW 06-10-20	SP
SANDRA PAIM ARCHITECT	
Residential Commercial Historical	
P.O. Box 2136 Los Gatos, Calif. 95030 408-315-1403 SANDRA@SANDRAPAIM.COM	
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APN 529-18-046	
NEW CUSTOM HOME JAYARAJ RESIDENCE 16880 ROBERTS ROAD LOS GATOS, CA	
DATE:	04-14-2020
SCALE:	1/4"=1'-0"
DRAWN:	SP
JOB:	JAYARAJ
SHEET:	A-2.1
OF	SHEETS

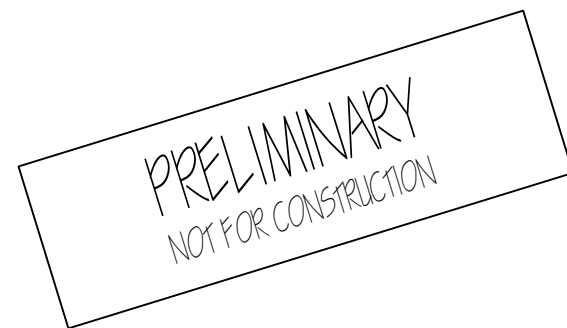
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

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DATE:	04-14-2020
SCALE:	1/4" = 1'-0"
DRAWN:	SAP
JOB:	JAYARAJ
SHEET:	A-2.2
OF	SHEETS



SEE SHIT, A-6

DOOR / WINDOW LEGEND

	DOOR SYMBOL
	WINDOW SYMBOL

0'



4'

8'

16'

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Los Gatos, Calif. 95030
408•315•1403
SANDRA@SANDRAPAIM.COM

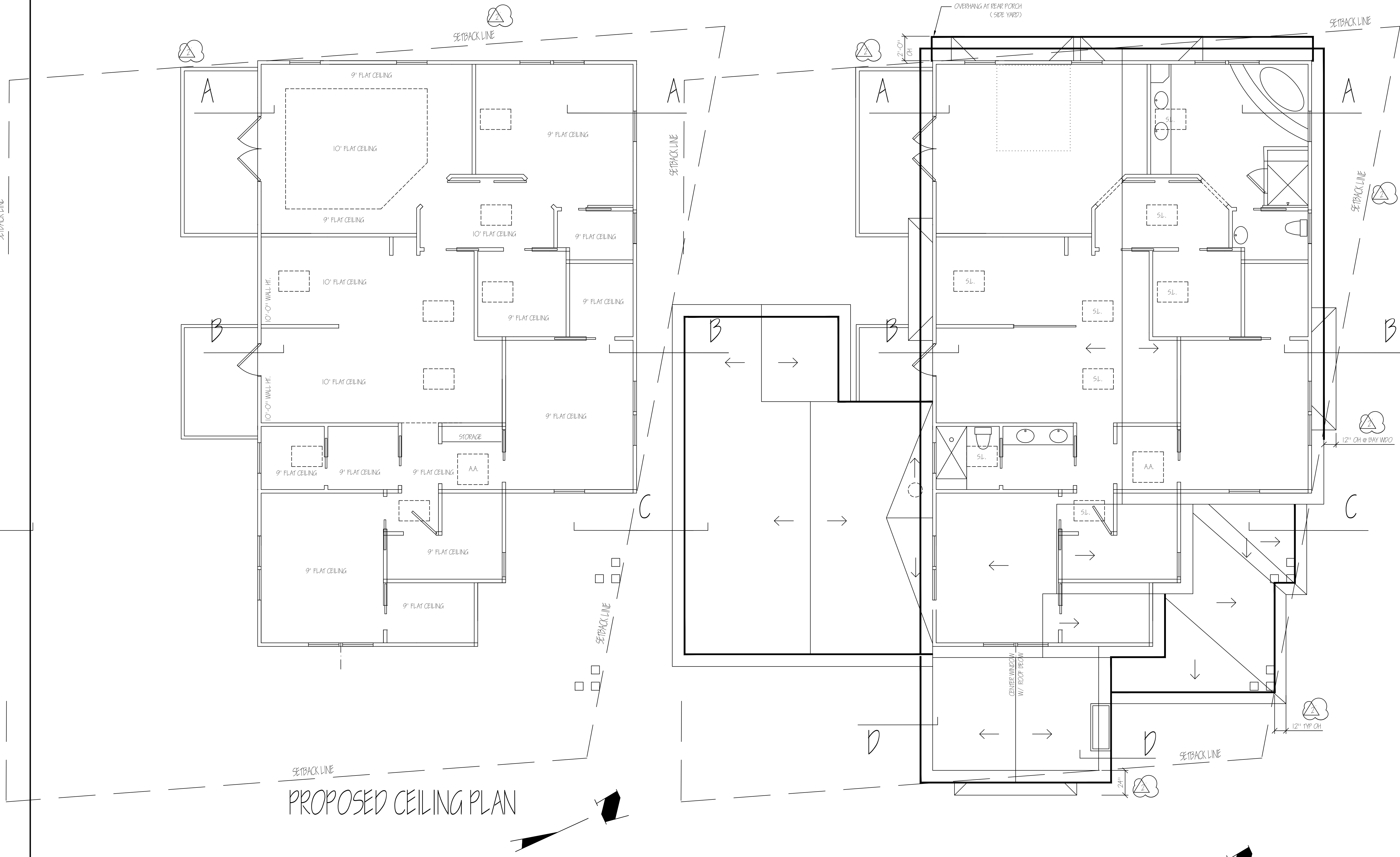
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NEW CUSTOM HOME
JAYARAJ RESIDENCE
16880 ROBERTS ROAD
LOS GATOS, CA

DATE:	03-31-2020
SCALE:	1/4"=1'-0"
DRAWN:	SP
JOB:	JAYARAJ
SHEET:	A-3.1
OF	SHEETS

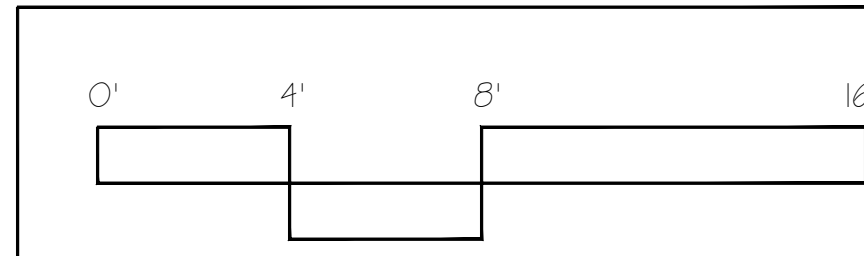
SETBACK LINE

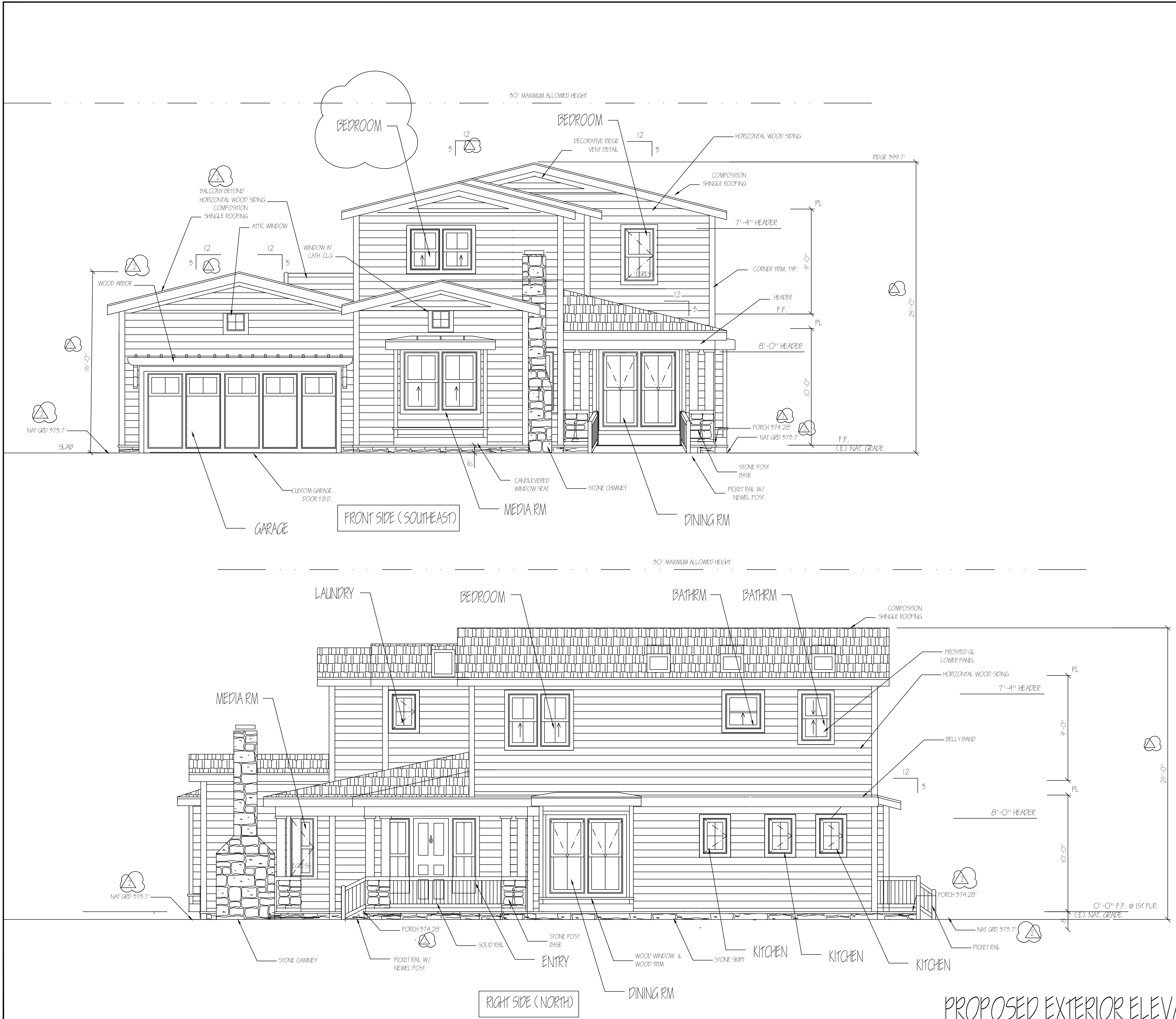


PROPOSED CEILING PLAN

PROPOSED ROOF PLAN

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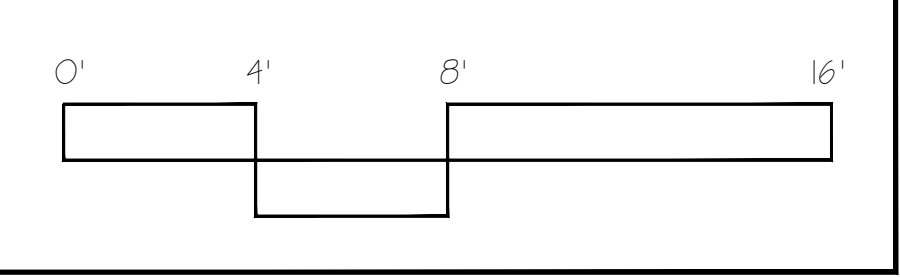


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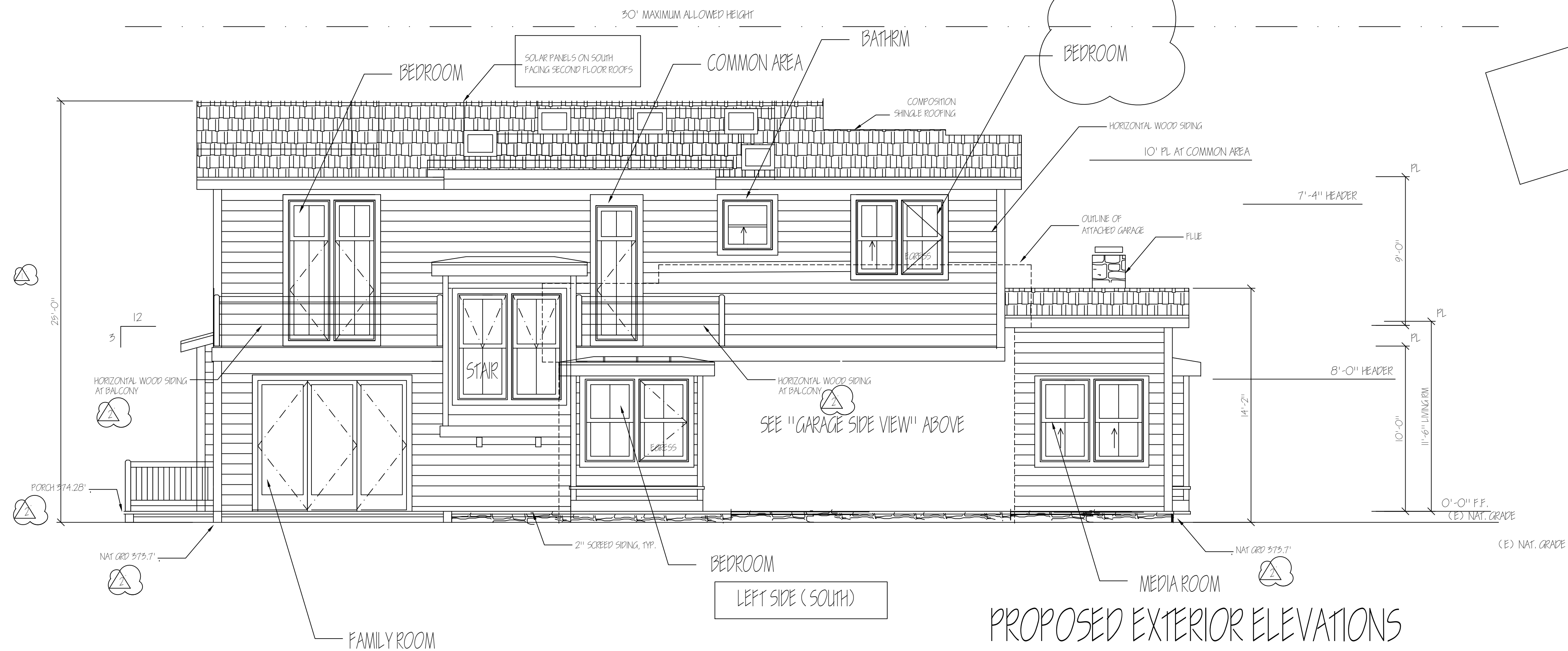
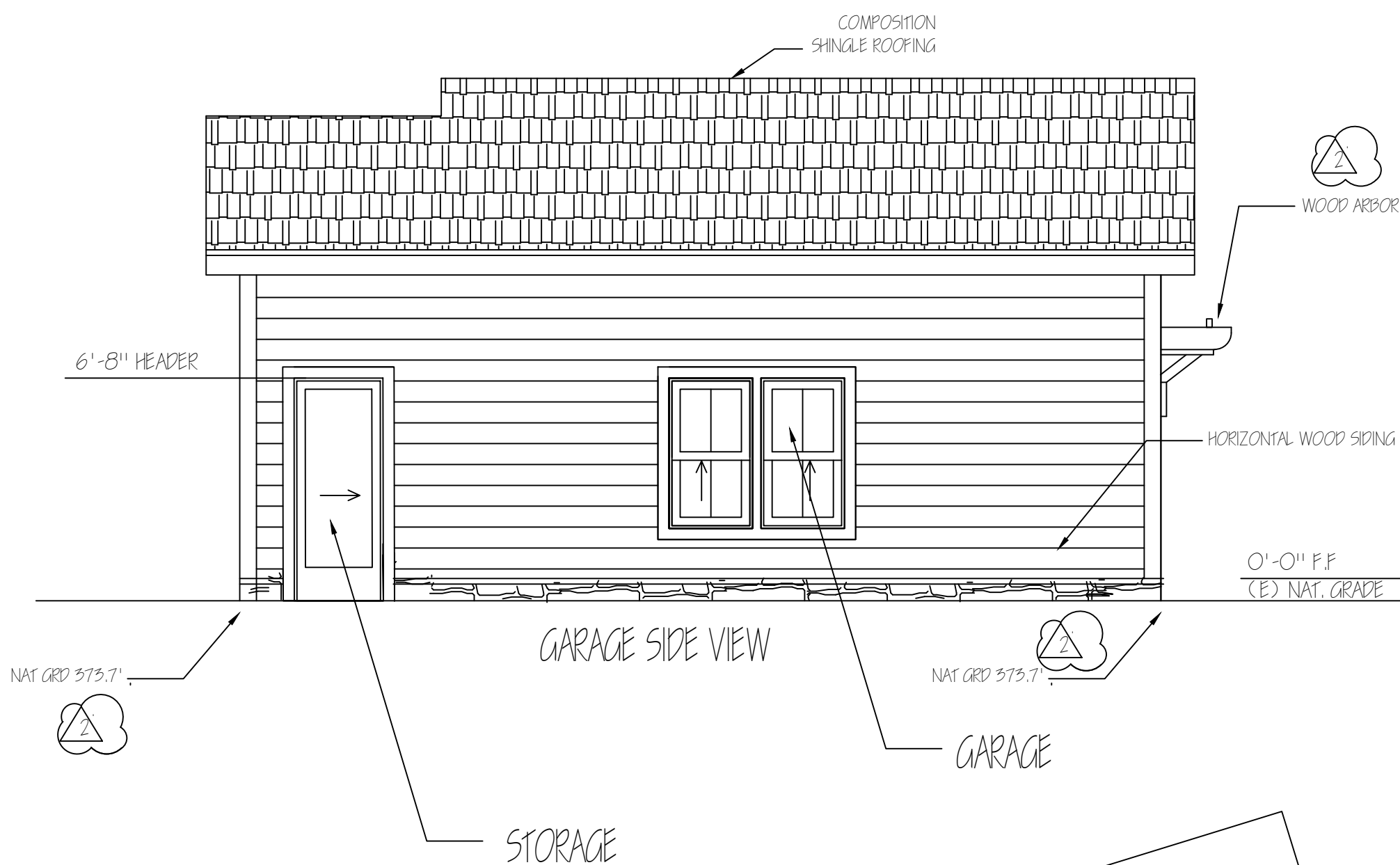
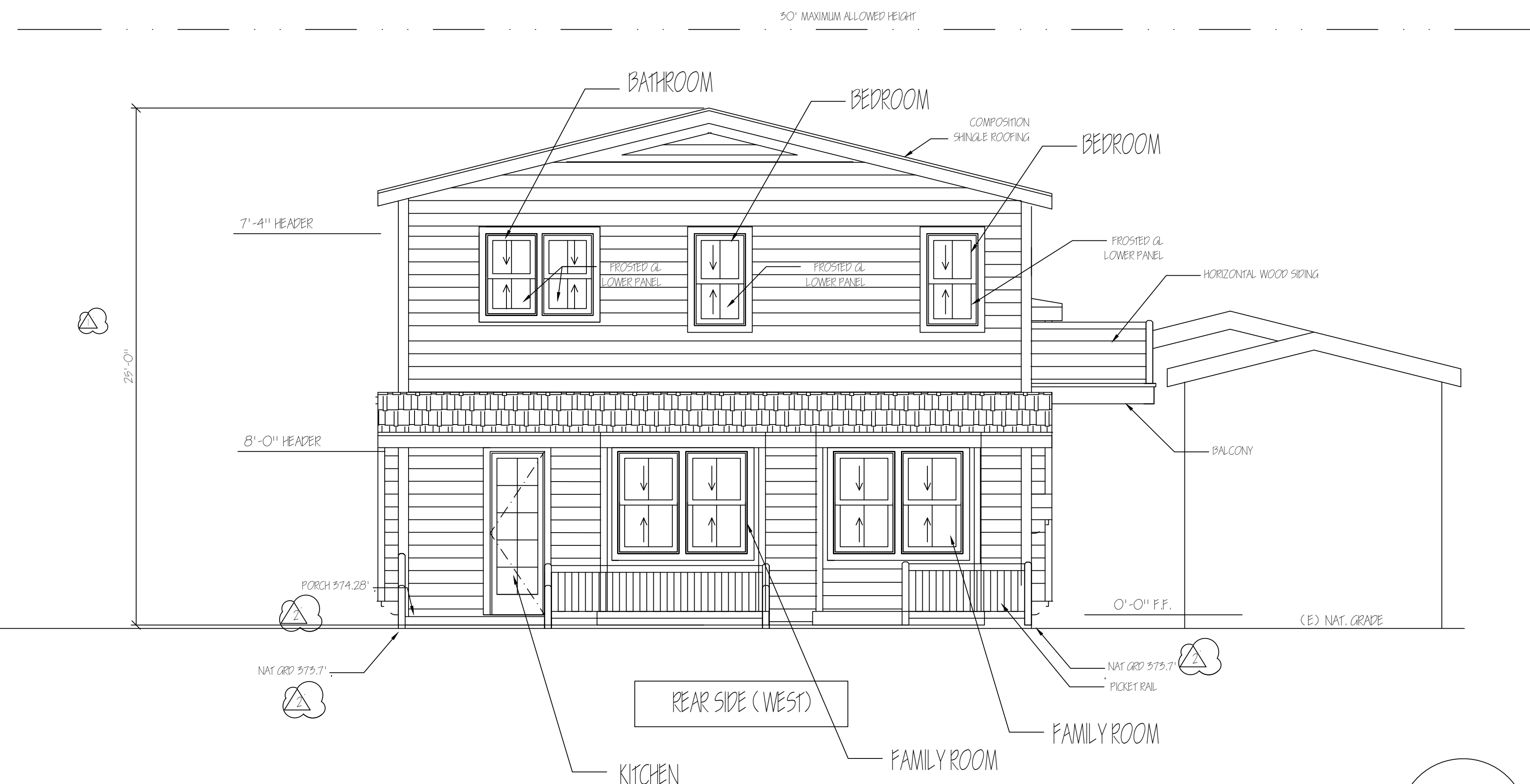
ADDRESS NUMBER
VISIBLE FROM STREET

ADDRESS PLAQUE

MATERIAL & COLOR LEGEND	
ROOF	ASPHALT SHINGLE ROOFING COLOR: T.B.D.
GUTTERS & LEADERS	T.B.D. COLOR: T.B.D.
SIDING	HORIZONTAL WOOD (DROPPED) SIDING JAMES HARDIE BUILDING PRODUCTS COLOR: T.B.D.
FIREPLACE	COBBLEFIELD BY "CULTURED STONE" COLOR: ECHO RIDGE
WINDOWS	WOOD WINDOWS (FIBERGLASS CLAD) BY MILGARD ESSENCE COLOR: T.B.D.
TRIM	WOOD COLOR: T.B.D.
COLUMN	T.B.D. COLOR: T.B.D.
RAILING	PICKET COLOR: T.B.D.



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NEW CUSTOM HOUSE JAYARAJ RESIDENCE 16890 ROBERTS ROAD LOS GATOS, CA	
DATE:	04-14-2020
SCALE:	1/4"=1'-0"
DRAWN:	SP
JOB:	JAYARAJ
SHEET:	A4.1
OF	SHEETS



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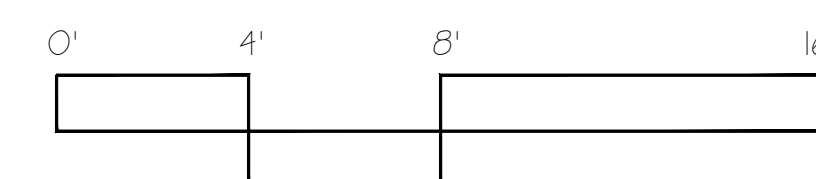
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NEW CUSTOM HOUSE
JAYARAJ RESIDENCE
16890 ROBERTS ROAD
LOS GATOS, CA

MATERIAL & COLOR LEGEND

SEE SHEET A-4.1



DATE: 04-14-2020

SCALE: 1/4"=1'-0"

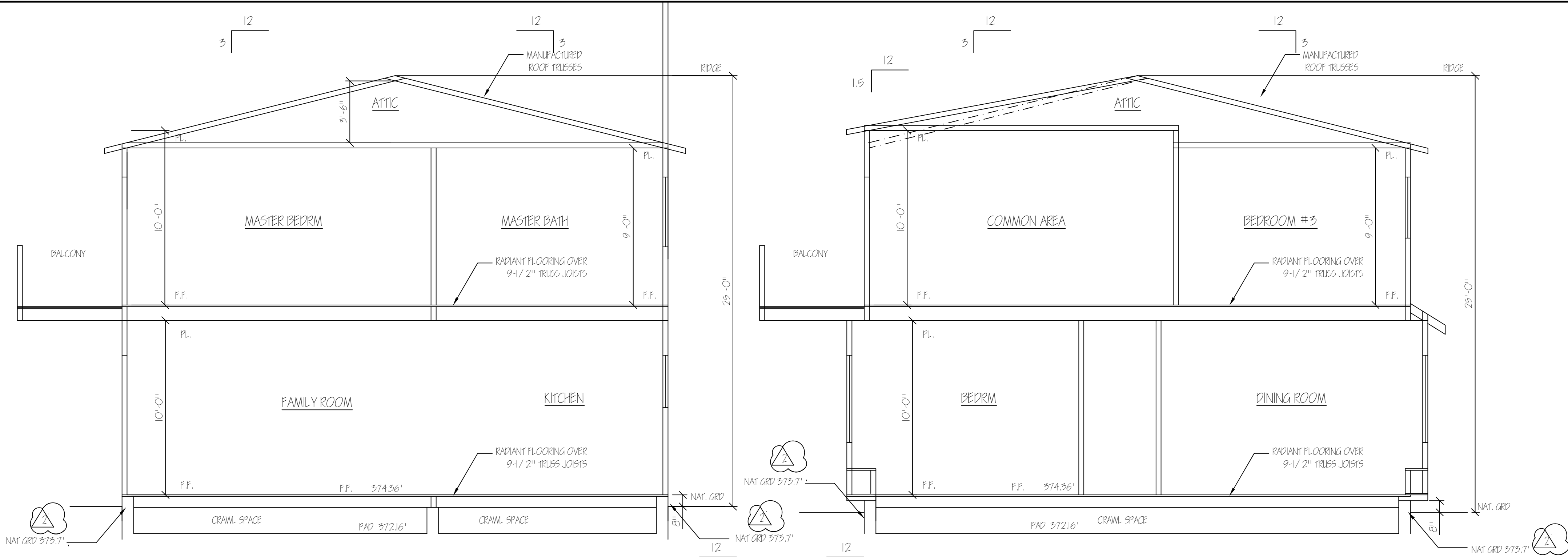
DRAWN: SP

JOB: JAYARAJ

SHEET:

A-4.2
OF SHEETS

PROPOSED EXTERIOR ELEVATIONS



SECTION A

SECTION B

SECTION C

SECTION D

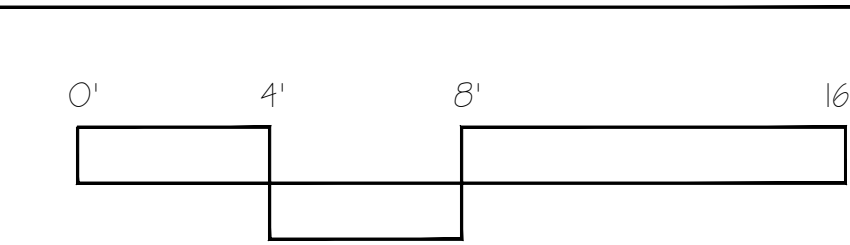
BUILDING CROSS SECTIONS

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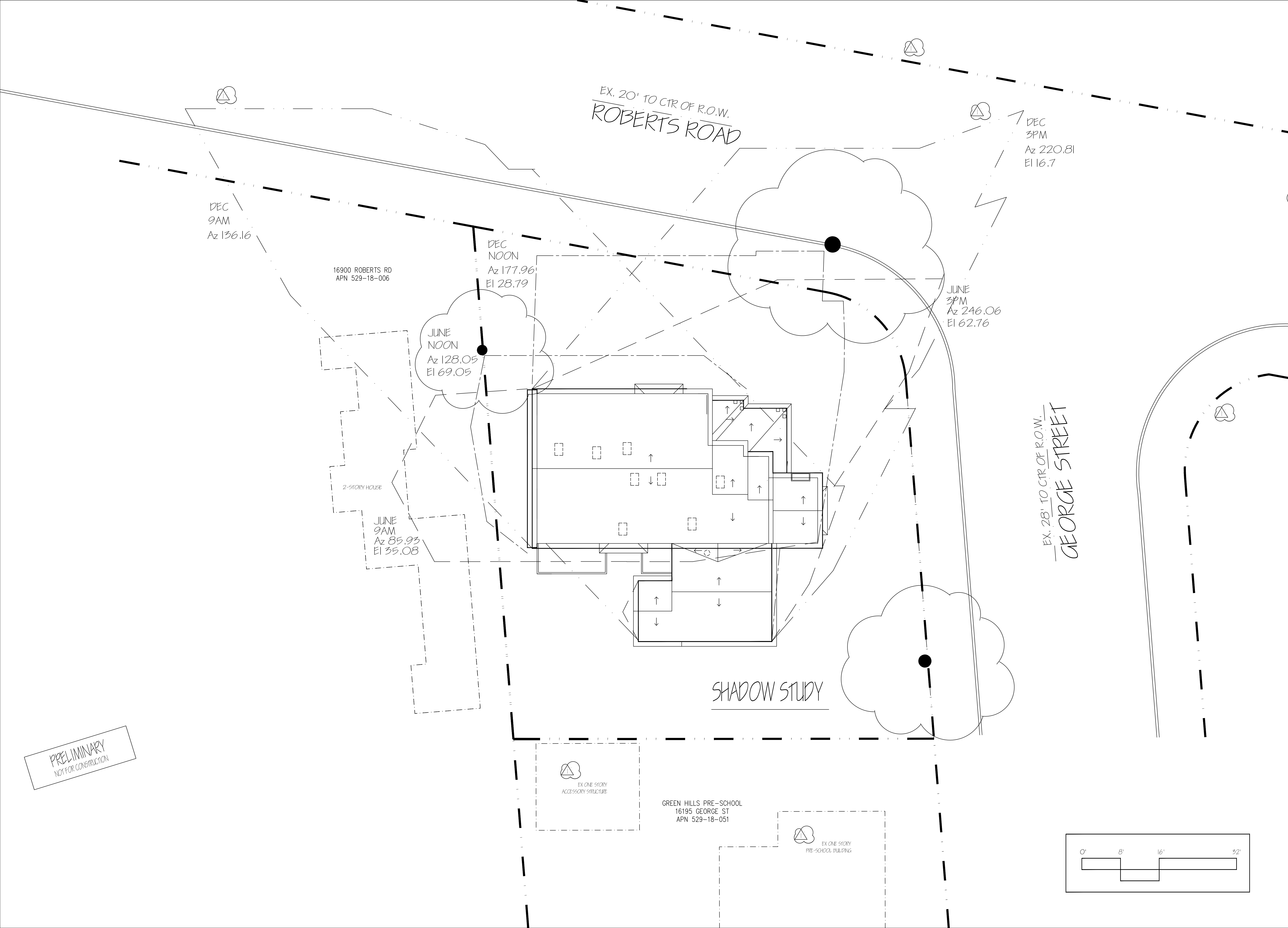
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NEW CUSTOM HOME JAYARAJ RESIDENCE 16800 ROBERTS ROAD LOS GATOS, CA		
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SCALE:	1/4"=1'-0"	
DRAWN:	SP	
JOB:	JAYARAJ	
SHEET:	A-5.1	
OF	SHEETS	



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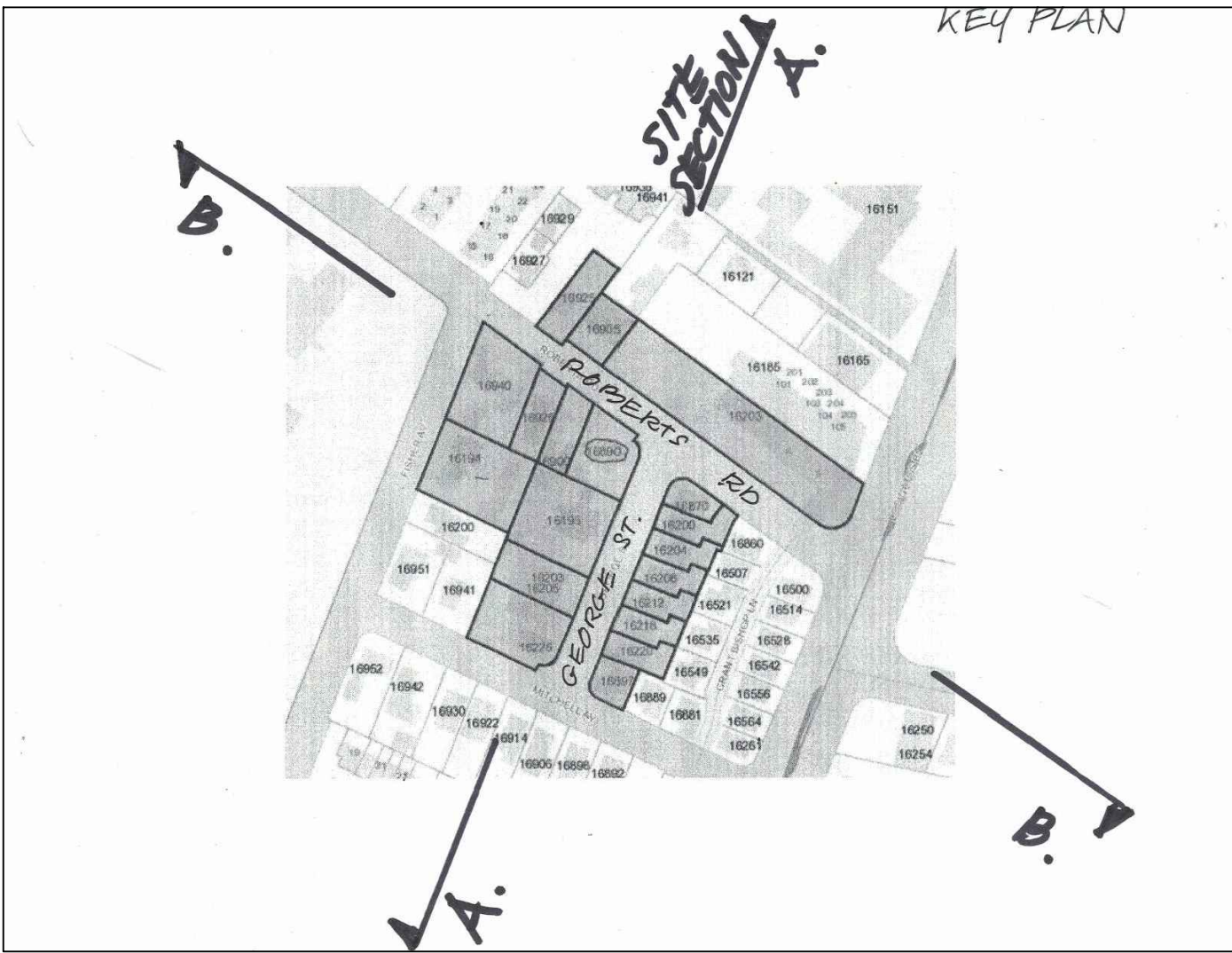
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LOS GATOS, CA 95030

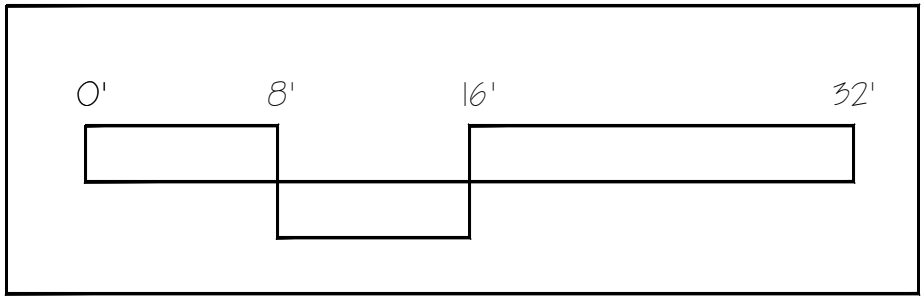
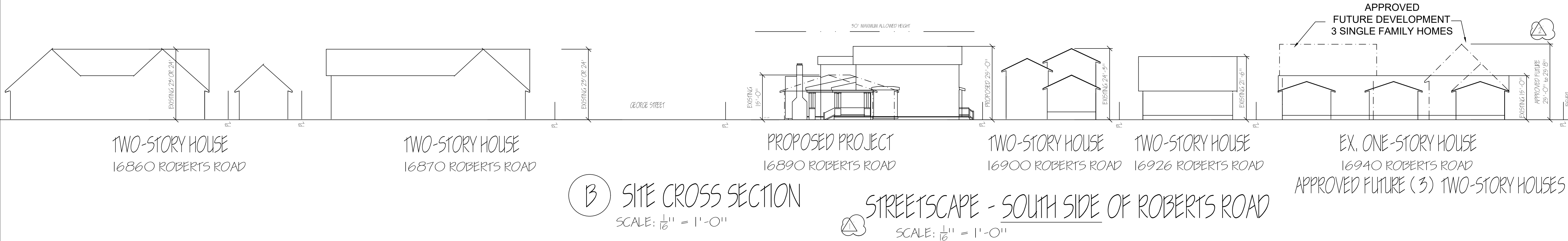
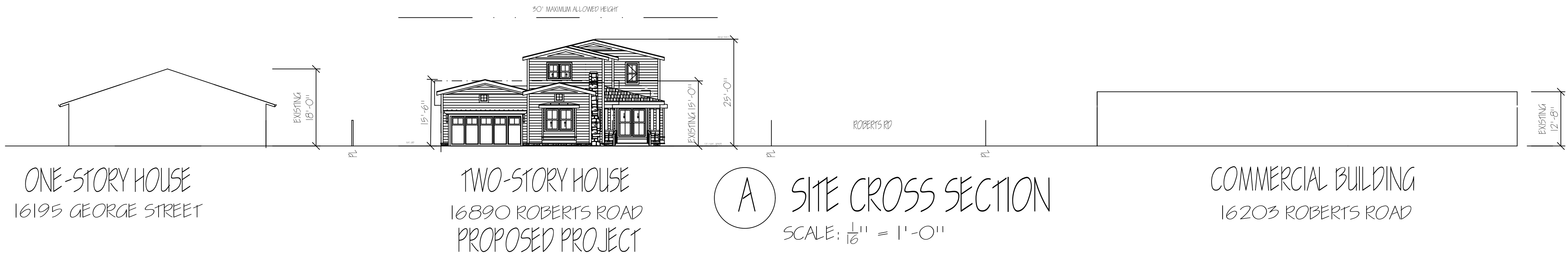
PRELIM SET	X 01-28-20
PL CHK SET	
PRICING SET	
CONSTR SET	

SHADOW
STUDY

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KEY PLAN



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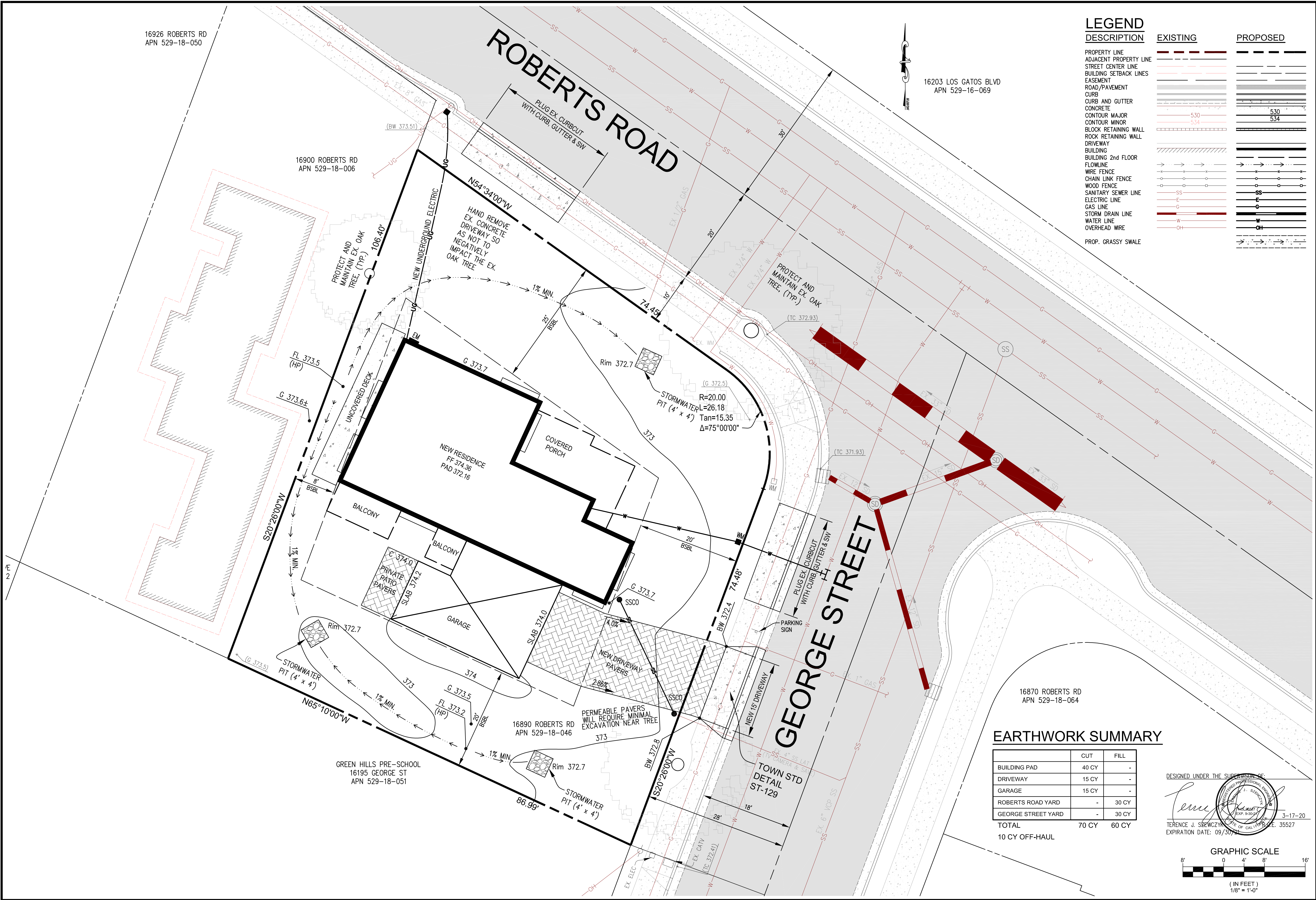
APN
529-18-046

JAYARAJ RESIDENCE
16890 ROBERTS ROAD
LOS GATOS, CA 95030

PRELIM SET	X
PL CHK SET	
PRICING SET	
CONSTR SET	

SITE CROSS
SECTIONS
STREET-
SCAPE

DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.



TS CIVIL ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
PH: 408.452.9300
FAX: 408.837.7550

TS CIVIL ENGINEERING

SITE PLAN
16890 ROBERTS RD
LOS GATOS, CA 95032
APN: 529-18-046

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		

DATE: 3-17-20
SCALE: 1/8"=1'-0"
DRAWN BY: DKH
SURVEYED BY:
PROJ ENGR: TJS
CHECK BY: TJS
SHEET NO.
C-2
OF 2 SHEETS
JOB NO.
20-203

06/22/2020 1:36pm - N:\2020 Jobs\20-203\DWG\Kirlil 20-203 C2 SITE PLAN.dwg - C2

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LOT AREAS

EX. PARCEL 33	5,046 SF	(0.116 AC)
EX. PARCEL 34	4,177 SF	(0.096 AC)
DEDICATION 33	465 SF	(0.011 AC)
DEDICATION 34	293 SF	(0.007 AC)
PARCEL 33	4,581 SF	(0.105 AC)
PARCEL 34	3,883 SF	(0.089 AC)
TOTAL	9,223 SF	(0.212 AC)

GREEN HILLS PRE-SCHOOL
16195 GEORGE ST
APN 529-18-051

EX. PARCEL 33
5046 SF (0.116 AC)
PARCEL 33
4581 SF (0.105 AC)

EX. PARCEL 34
4177 SF (0.096 AC)
PARCEL 34
3883 SF (0.089 AC)

EX. RESIDENCE
FF 373.6±

DEDICATION 34
293 SF (0.007 AC)

ROBERTS ROAD

GEORGE STREET

16203 LOS GATOS BLVD
APN 529-16-069

16870 ROBERTS RD
APN 529-18-064

16890 ROBERTS RD
APN 529-18-046

16926 ROBERTS RD
APN 529-18-050

16900 ROBERTS RD
APN 529-18-006

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	STREET CENTER LINE
	BUILDING SETBACK LINES
	EX. EASEMENT
	EX. DIRT ROAD
	EX. ROAD/PAVEMENT
	EX. CURB
	EX. CURB AND GUTTER
	EX. CONCRETE
	EX. CONTOUR MAJOR
	EX. CONTOUR MINOR
	EX. BLOCK RETAINING WALL
	EX. ROCK RETAINING WALL
	EX. DRIVEWAY
	EX. BUILDING
	EX. ROOF OVERHANG
	EX. AC BERM
	EX. TOP OF BANK
	EX. TOE OF BANK
	EX. CREEK FLOWLINE
	EX. WIRE FENCE
	EX. CHAIN LINK FENCE
	EX. WOOD FENCE
	EX. SANITARY SEWER LINE
	EX. PERFORATED SEPTIC LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	EX. STORM DRAIN LINE
	EX. WATER LINE
	EX. OVERHEAD WIRE

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEZWYCZYK
EXPIRATION DATE: 09/30/2024

GRAPHIC SCALE
8' 0' 4' 8' 16'
(IN FEET)
1/8" = 1'-0"

EXISTING CONDITIONS
AND LOT DEDICATION
16890 ROBERTS RD
LOS GATOS, CA 95032
APN: 529-18-046

NO.	DATE	REVISIONS	BY
6			
5			
4			
3			
2			
1			

DATE: 3-17-20
SCALE: 1/8"=1'-0"
DRAWN BY: DKH
SURVEYED BY:
PROJ ENGR: TJS
CHECK BY: TJS
SHEET NO.

C-1
OF 2 SHEETS

JOB NO.
20-203

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